



Ms. Marylin Friend  
2020 N. Longview Ave., Brookfield, WI.  
06/01/2017



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## *Inspection Summary*

Please note that the Inspection Summary is not the full report. Refer to the full Inspection Report and noted Reference Addendum items for full details.

## Action Items

**We recommend further evaluation within your Home Inspection contingency of these potential defects by a qualified expert specialist in the appropriate field in a timely manner because, in the Inspector's opinion, further inspection, engineering, research, repair, replacement, or analysis beyond the scope of a visual Home Inspection is prudent. Review your Offer to Purchase for Home Inspection contingency timelines as time is of the essence.**

### **Significant Deficiencies**

Items which appear to significantly reduce the functionality, safety, or structural integrity of components or systems:

#### **Basement/Foundation**

##### Recommendations

Efforts should be made to maintain and correct all sources of exterior water/soil pressure with proper grading (slope of the ground), gutters, and downspouts. Have the need for a drain tile test evaluated by an independent Professional Engineer or foundation specialist. Obtain information from seller concerning past history of seepage, leaks, damage, and/or repair documentation/warranty information. People who live in a house for a long period of time are in the best position to provide information about the basement. They have seen the basement under various circumstances over a length of time.

### **Potential Safety Concerns**

Items which may cause harm in its present condition or under the right circumstances:

#### **Garage**

##### Doors

##### *House Door:*

Not fire resistant. Suggest a "20 minute door" and frame rated for use between an attached garage and a house. No tag found (unable to confirm fire resistance). Typical for age. Suggest a "20 minute door" and frame rated for use between an attached garage and a house.

#### **Plumbing**

##### Gas Piping

##### *Material:*

Flexible vinyl covered stainless steel (CSST). No bonding. This is a potential hazard. Suggest further evaluation by a licensed electrician.

### **Important Preservation/Stabilization Items and Potentially Significant Deficiencies**

Potentially significant items which, if not addressed in a timely manner, will or may have adverse effect on the life expectancy of the identified item or a related component. Seek further evaluation and verify:

#### **Exterior**

##### Siding

*Wood:*

Deterioration: Typical for age. Loose siding, Needs common maintenance/touch up/repairs.

*Cement Board:*

Evaluate for common maintenance needs now. Extensive face nailing, Dropped panels. Splintering noted at edges/ends indicates panels were improperly cut/sealed. Seek further evaluation by a qualified specialist.

**Interior**General Areas*Fireplaces:*

Damper damaged/stuck/inoperative, Suggest further evaluation of fireplace, chimney(s), and flues by a qualified chimney specialist.

**Attic**Exhaust Ducts*Condition:*

Disconnected/Fallen/Damaged, Dips/bends observed in exhaust tubing.

**Electrical**Main Panel*Condition:*

Appears functional, There appears to be more than one wire per breaker/fuse. Consult a licensed electrician for recommendations. Main panel is crowded. There is little to no room for additional circuits. Labeling not complete, Duplex breakers are installed in a slot/panel that appears as not rated for duplex breakers.

Recommendations

Have a licensed electrician evaluate electrical system for good function and safety. Correct as needed. Suggest a complete check of system by a licensed electrician.

Please note that it is the client/property owner's personal responsibility to ask the Home Inspector for any further clarification or explanation needed/desired in a timely manner.

## *General*

### General Information

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Property Inspected

2020 N. Longview Ave., Brookfield, WI.

Date of Inspection

06/01/2017.

Client(s)

Ms. Marilyn Friend.

Real Estate Agent

FSBO.

Inspector

Scot W. McLean, Towne & Country Building Insp., Inc.  
414 228-6573, [scot.mclean@sbcglobal.net](mailto:scot.mclean@sbcglobal.net).

### Attendees

Seller, Marylin Friend,

A Home Inspection is a visual assessment of a property's general condition, with emphasis on the safety and functionality of the major components and systems of a building. This inspection is not intended to be an exhaustive list of every minor repair and maintenance item, though some may be noted.

## Building and Site Information

### Building Faces

North. *Though the building may or may not face directly North, references to direction in this inspection report assume that the front entrance of the building faces North.*

### Building Type

Single family.

### Building Occupancy

Occupied, seller was at home.

### Weather Conditions

Temperature: 50° F to 70° F, Soil conditions: Damp.

## Important Notes

The Reference Addendum notes referenced in this Inspection Report are part of the Inspection Report and subject to the Inspection Agreement. The Reference Addendum is Addendum A. Please review these items for your benefit and full understanding as they are an important part of the Inspection Report. **Please note that Inspection Report terminology definitions can be found in note 101 in the Reference Addendum.** Also see the following notes in Reference Addendum: 102, 103, 104, 105.

## Scope of Inspection

The purpose of a Home Inspection is to put the perspective buyer in a position to make a better informed purchasing decision. This report is not a comprehensive list of every maintenance concern. Unexpected repairs should be anticipated. Expected wear and tear, routine maintenance suggestions, educational discussions, and comments about items being near the end of their life expectancies, if referenced, are done so only as a courtesy to the client. See the Inspection Agreement and the Wisconsin Standards of Practice for more information on the scope and limitations of Home Inspections. Opinions presented in this report are based on observable conditions at the time of inspection. The Home Inspector makes every effort to perform a thorough inspection, however, the inspection is not technically exhaustive, and the Inspection is limited by the amount of time the Inspector is reasonably able to spend at the property.

## Information Provided About Property's Condition

## Property Condition Report

States: No issues/history noted on Condition Report, Years of ownership: 9.

## Verbal Reports

Client reports that there's a history of foundation seepage.

# *Exterior*

## Limitations

### Limitations/Exclusions:

Outbuildings such as sheds are beyond the scope of this inspection. Pools/hot tubs and related equipment and improvements are beyond the scope of this inspection. Children's playsets and recreational equipment are beyond the scope of this inspection. Sprinkler systems are beyond the scope of a Home Inspection.

## Siding

### Wood:

Appears functional, Typical for age,  
**Deterioration: Typical for age. Loose siding, Needs common maintenance/touch up/repairs.**



### Masonry Siding:

Brick, Appears intact, Appears functional, Typical for age, Monitor/evaluate for common maintenance needs. Seal any gaps/openings.





Cement Board:



Appears generally functional as currently observed, Typical for age and era.

**Evaluate for common maintenance needs now.**

Like all siding surfaces, seal any gaps/openings and where possible direct drainage water off surfaces, monitor. Some expected and common material aging and wear noted.

Appears generally intact. Installation; maintenance, and clearances are important to maintain life expectancy and prevent water related concerns and wear. No readily apparent significant deterioration for the age and era of material and installation techniques observed at the inspection. Having a periodic maintenance review can assist in achieving greater longevity of these materials and good function, monitor. **Extensive face nailing, Dropped panels. Splintering noted at edges/ends indicates panels were improperly cut/sealed. Seek further evaluation by a qualified specialist.**

### Foundation:

Restricted access due to plantings/snow.

See note 107 in the Reference Addendum.

## Windows/Doors and Trim

### Limitations:

Clad with metal/vinyl trim: 60% to 70%.

### Condition:

Appear intact, Appear functional, Typical for age, Monitor for caulk maintenance needs.

Flashings are not fully visible. Construction/installation methods are often not apparent once construction/installation is complete. Inspection limited to visible areas only.

## Basement Windows

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### Condition:

Appear functional, Typical for age.

## Overhangs/Eaves/Roof Trim

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### Limitations:

*Paint may conceal history of past or present conditions, such as water staining, deterioration, or cracking. Suggest asking owner/occupant for history.* Clad with metal/vinyl trim: 60% to 70%.

### Condition:

Appear intact, Appear functional, Typical for age, Monitor for caulk maintenance needs.

## Walks/Patio

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### Concrete:

Appears intact, Appears functional, Typical for age, Typical cracking.

### Brick/Pavers/Stone:

Appears functional, Typical for age, Older/worn, Sloping toward building. This can cause water infiltration issues. Surface raised/settled, Water may pond and freeze. [Stone walk/patio needs repair or replacement. Suggest further evaluation by a hardscapes contractor/landscaper for maintenance/repair/water deflection issues.](#)

## Driveway/Slab

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### Asphalt:

Appears functional, Typical for age, Typical cracking.

## Grading

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### Limitations:

Bushes/vegetation restrict inspection, Unable to determine if grading is proper due to wood chips/decorative stones. Suggest confirming that brown dirt under chips/stones is sloped away from building 1" per foot for 6 ft.

### Grading:

Slope brown dirt away from building 1" per foot for 6 feet. Suggest further evaluation by a landscaping specialist.

## Concrete Porch/Stoop

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### Limitations:

Stone surfaces.

### Location:

Front.

### Condition:

Appears intact, Appears functional, Typical for age. Older/worn, **High step up where walk has settled. Uneven rise/run at steps.**



## Deck

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### Limitations:

Restricted/no access under stairs/porch/deck, Approximately 90% to 100% of support structure not visible.

### Location:

Rear.

### Support:

Support undetermined: At posts. Unable to determine how posts are supported underground. Supported by pads on grade.

### Condition:

Appears functional, Typical for age, Some deterioration noted (typical for age). High step up where walk has settled. No flashing observed. (Incomplete installation.)

### Recommendations:

Monitor/Review for common maintenance needs including stain/paint.

## Retaining Walls

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### Stone/Block:

No drainage noted, Bowed, Leaning, Loose stones.



## Exterior Faucet(s)

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One or more faucets appear functional.

## Electrical

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### Outlets:

Appear intact, Appears functional.

### Exterior Lighting Fixtures:

Appear intact, Appears functional.

### Power Feed:

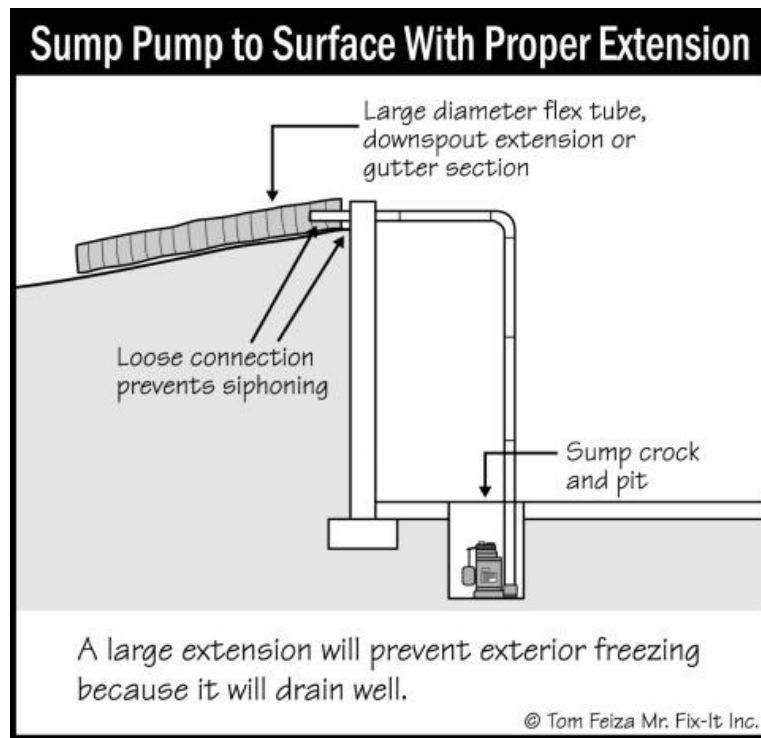
Underground, Appears intact, Appears functional.

## Exterior Drainage

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### Sump Discharge

Small diameter sump discharge hose. See note 112 in Reference Addendum.



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### Downspouts

Metal, Discharges below grade. *Monitor for damage, freezing, blockage.* Appears functional, Add more downspouts.

### Gutters: View From Ground

Metal, Appears functional, Need cleaning, Monitor for overflow conditions/leakage and correct as needed.

## Roofs

### Inspection Limitations

#### Inspection Limitations:

Height restricts inspection, Steep Slope, Configuration restricts inspection. Limited visibility at: 90% to 100%

#### Roof/Chimney Inspected From:

From the ground with camera zoom, Windows.

### Important Roof Notes

See note 115 in Reference Addendum.

## Pitched Roof

The roofing material is asphalt/fiberglass shingles. The roof and flashings appear to be in good overall condition but may need some routine maintenance. Annual



monitoring/inspection and ongoing maintenance are critical to the performance of roofing systems, particularly flashings. Review with the owner/occupant about the history of installation, routine maintenance, and ice build up. Gutters are metal and appear functional. Monitor gutters and downspouts for overflow conditions/leakage and correct as needed.

### Condition:



Appears functional, Roof is in good overall condition. No generalized lifting, curling, or advanced wear noted. Beginning signs of wear/aging. Some observations include: Granule loss, Algae present. This discolors the shingles but does not harm the roof structure or shingles.

### Recommendations:

Annual monitoring/inspection and ongoing routine maintenance are critical to the performance of roofing systems. Inquire with owner/occupant about any history of seepage and repair history.

## Flashings

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### Limitations:

Restricted/no access.

### Plumbing Stack:

Synthetic flashing material present. Monitor for holes/cracks/wear.

### Valley:



Metal, Appears functional.

Roof/Wall:

Little clearance between siding and roof. *(Recommend a 1" minimum.) This restricts inspection of the presence or absence and condition of the flashing at this location.*

Skylight:

No/restricted access, Appears functional, Monitor for maintenance needs.

## Pitched Garage Roof

Garage Roof:

Same material as and similar condition to house. House roof notes/recommendations also apply to garage roofing system.

## *Chimneys*

### Chimney

Location:

One main chimney, Multiple flues located in one chimney structure.

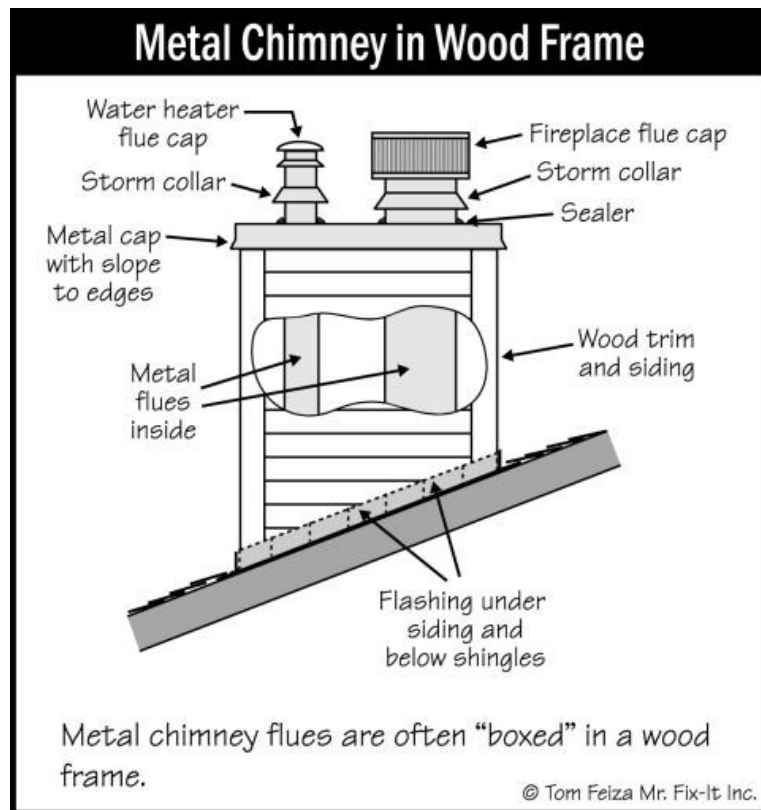
Chimney Inspected From:

Inspected from ground with camera zoom.

Type of Chimney:



Boxed in chimney flue.  
Top of chimney is not  
observed/evaluated.



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### Chimney Cap:

Top of chimney is not observed/evaluated. Corrosion/ rust evident- clean and examine fireplace systems suggested.

### Flue Type:

Metal.

### Flue Condition:

Interior not inspected.

### Chimney Structure:

Same materials and similar condition to house siding and trim. Wood siding needs maintenance, nails pulling / wood cupping.

### Rain Cover:

Appears functional.

Chimney Recommendations:

Monitor for maintenance needs.

View Up Chimney:

No masonry chimney present.

See note 126 in Reference Addendum.

Flashings:

Chimney

Step flashing not visible/verified.

*Garage*

Exclusions

Outbuildings such as sheds are not included in this inspection.

Exterior

Same materials and conditions as house exterior.

Interior Limitations

Floor:

Storage restricts inspection 10% to 20%.

Ceiling:

100% finished.

Walls:

100% finished. Storage/finishes restrict inspection 20% to 30%.

Type

Attached.

Building Structure:

Not visible.

Interior Walls/Ceiling

Appear functional.

## Windows

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Appears intact, Fixed.

## Doors

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### Passage Door:

Appears intact, Appears functional.

### House Door:

**Not fire resistant. Suggest a "20 minute door" and frame rated for use between an attached garage and a house. No tag found (unable to confirm fire resistance). Typical for age. Suggest a "20 minute door" and frame rated for use between an attached garage and a house.**

### Vehicle Door:

Appears intact, Appears functional, Two vehicle doors present.

## Floor Slab

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Appears functional, Typical cracking/fractures.

## Garage Door Opener

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Reversed properly, Did reverse at safety beam, Appears functional.

## Garage Electrical

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Appears functional.

## Garage Faucet

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Appears functional, Seasonally turn off and drain all faucets in exterior or unheated areas to prevent freezing and broken pipes.

## Basement Stairs

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Concrete, Appears functional.

## *Kitchen*

## Kitchen

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### Location:

One main kitchen.



### Limitations:

Restricted view below sink.

### Sink:

Sink, faucet, and piping appear intact, Sink, faucet, and piping appear functional. Sink appears to function properly, Faucet appears to function properly, Piping under sink appears to function properly, **Gurgling sound at drain indicates possible venting problem, No air gap device for dishwasher drain line. This can cause dirty water to flow back into the dishwasher.**

### Garbage Disposal:

Appears to function properly.

### Cabinets/Countertops:

Appears intact, Appears functional.

### Exhaust Fan:

On hood over stove, Appears functional.

### Heat/Cool Sources:

Heat source provided.

### Stove Utility:

Gas.

### Electrical:

Appears intact, Appears functional.

## *Bathrooms*

### Central Bathroom

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See note 128 in Reference Addendum.



Location:

Second floor.

Limitations:

Restricted view under sink.

Toilet:

Appears intact, Appears functional.

Sink:

Sink, faucet, and piping appear intact. Sink, faucet, and piping appear functional. Sink appears to function properly, More than one sink present. Faucet appears to function properly, Drain appears to function properly.

Counter/Cabinet:

Appears intact, Appears functional.

Electrical:

Appears functional.

Ventilation:

Window: Appears intact, Appears functional, Fan: Appears functional.

Heat/Cool Sources:

Heat source provided.

Tub:

Tub, faucet/spout, and drain appear intact. Tub, faucet/spout, and drain appear functional. Tub appears to function properly, Drain appears to function properly.

Shower Plumbing:

Appears intact, Appears to function properly, Vintage tub/shower mixer present.

Shower Enclosure:

Appears intact, Appears functional, Monitor pan/enclosure for leakage. Shower

pans/drain fittings can leak at any time.

## Master Bathroom

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### Location:



Second floor.

### Limitations:

Restricted view under sink.

### Toilet:

Appears intact, Appears functional.

### Sink:

Sink, faucet, and piping appear intact. Sink, faucet, and piping appear functional. Sink appears to function properly, More than one sink present. Faucet appears to function properly, Drain appears to function properly.

### Counter/Cabinet:

Appears intact, Appears functional.

### Electrical:

Appears functional.

### Ventilation:

Window: Appears intact, Appears functional, Fan: Appears functional.

### Heat/Cool Sources:

Heat source provided.

### Shower Plumbing:

Appears intact, Appears to function properly.

### Shower Enclosure:

Appears intact, Appears functional.

### Whirlpool Tub:

Tub appears to function properly, Faucet appears to function properly, Drain appears to function properly, GFCI tested properly, Jet pump operated, *Whirlpools require special maintenance/cleaning. (Bleach is generally not recommended.) See manufacturer's instructions.*

## Powder Room

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### Location:

First floor.

Limitations:

Restricted view under sink.

Toilet:

Appears intact, Appears functional.

Sink:

Sink, faucet, and piping appear intact. Sink, faucet, and piping appear functional. Sink appears to function properly, Faucet appears to function properly, Drain appears to function properly.

Electrical:

Appears intact, Appears functional.

Ventilation:

Fan: Appears functional.

Heat/Cool Sources:

Heat source provided.

## *Interior*

### General Areas

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Location:

General areas, Lower, Upper.

Limitations:

Furnishings prevent/limit full inspection, Central vacuum systems are beyond the scope of this inspection. Security/central alarm systems are beyond the scope of this inspection.

Exterior Doors and Trim:

Appears functional, French/Sliding: Appears intact, Appears functional.

Interior Doors and Trim:

Appears intact, Appears functional, Some: Vintage.

Windows and Trim:

Limited access: shades/blinds/location. Double hung, Casement, Fixed, Appear intact, Appear functional, Vintage windows appear to have been well maintained and are generally in good condition but may need common maintenance. Some: Difficult to operate.

Ceiling and Walls:

Ceiling and wall framing are not observable due to finishes/insulation. Appears intact, Appears functional, Typical for age, Common fractures.

Floors:

Appears intact, Appears functional, Typical for age, Cosmetic sun fading noted at finishes.

Heat Sources:

Appears functional.

Smoke and Carbon Monoxide Detectors:



Alarm(s) sounded when test button was pressed, Unable to determine which units are smoke detectors and which are carbon monoxide detector detectors. Verify which units are smoke vs. carbon monoxide detectors and ensure an adequate number on each floor and their operation.

### Ceiling Fans:

Appears intact, Appears functional.

### Stairs/Balconies:

Appears intact, Appears functional.

### Fireplaces:

Masonry, Sealed. Natural gas only. 1-No access inside fireplace. 2+ fireplaces present, Appears functional, Damper damaged/stuck/inoperative, Suggest further evaluation of fireplace, chimney(s), and flues by a qualified chimney specialist.



### Electric Heat:

Electric heat source at baseboards. Suggest 6 inch minimum to combustibles such as stored items, curtains, wallpaper, fiberboard, furniture, etc. Appeared to operate properly when tested.

For more information about the number, location, and type of smoke and carbon monoxide detectors recommended by the State of Wisconsin, please visit <http://dsps.wi.gov/sb/docs/sb-udcalarmsfeb11.pdf>

## Attic

## Limitations

### Attic Access:





Ceiling access hatch: Viewed from hatch, Wall access door/hatch: Viewed from hatch.

#### Inspection Limitations:

Stored items, Floored, Insulation, Small area, Configuration.

#### Restricted Access To:

Overhead attic, Knee walls.

#### No Access To:

Joist space, Sloped walls/ceilings, First floor overhead attic space. Addition/sunroom attic.

## Insulation and Vapor Barrier

#### R-value:

Restricted/no access due to finishes/ insulation at ceilings/floor. Approximate "R" value for ceilings/floor: R-38+

#### Insulation Type(s):

Fiberglass.

#### Condition:

Uneven insulation levels, Suggest adding more insulation to low areas.

#### Vapor Barrier:

No access to check for the presence or type of vapor barrier due to insulation/finishes.

## Ventilation

#### Type:

Ridge vents observed, Soffit vents/air baffles observed.

Condition:

Minimal ventilation.

Recommendations:

Monitor for ice damming, discoloration, condensation, and frost. Consult an Energy Rater or Home Performance Professional as necessary.

## Exhaust Ducts

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Vent To:

Termination is not visible at one or more exhaust ducts. All bathroom and kitchen fans should vent outside and not into the attic. Verify as needed.

Condition:

**Disconnected/Fallen/Damaged, Dips/bends observed in exhaust tubing.** *Too many dips/bends in an exhaust run can cause condensation in the tubing and may freeze, damage the tubing, and/or leak. To prevent water stains/damage to finishes, suggest using a metal vent pipe that does not have many bends in it.*



## Roof Structure

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Limitations:

Roof structure not visible: 60% to 70%.

Type:

Trusses, OSB/waferboard sheathing.

Condition:

Structure appears functional, Discoloration around nails on roof structure is evidence of current of past high moisture conditions.

Roofs are most vulnerable to leakage at penetrations (such as chimneys and plumbing stacks), valleys, and skylights. Many leaks only occur under certain weather conditions which may or may not be present at the time of inspection. Clients are encouraged to ask the current owner about the roof history including presence of any roof leaks and to monitor for future seepage and leaks.

## Plumbing Vent Pipes

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Limitations:

Restricted/no access.

Material:

Cast iron, PVC.

Condition:

Appears functional, Monitor for leakage and common maintenance needs.

## Electrical

### Service Information

Limitations:

Limited access to panel.

Main Service Rating: 200 amps.

Main Box Rating: 200 amps, 120 V, 240 V.

Main Breaker/Fuse Rating: 200 amps.

Main Service Wire: 200 amps, Copper.

Wire Protection: Circuit breakers, Arc Fault Circuit Interrupters not tested due to house being occupied and possible data loss concerns.

Branch Wires: Material: Copper, Types of branch wires: In conduit, Non-metallic cable (Romex)

Grounding/Bonding

Bonded at water pipe. It appears that the electrical system is grounded to a ground rod.

*Ground rods are buried in the ground and usually not visible at the time of inspection.*

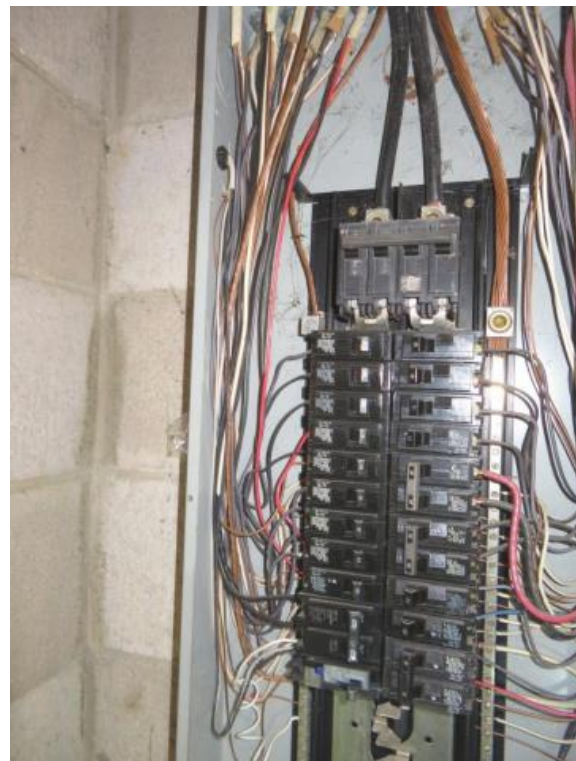
Gas bonding not verified.

Electrical service size/capacity noted is determined by a visual inspection only.  
Capacity concerns should be directed to a licensed electrician.

### Main Panel

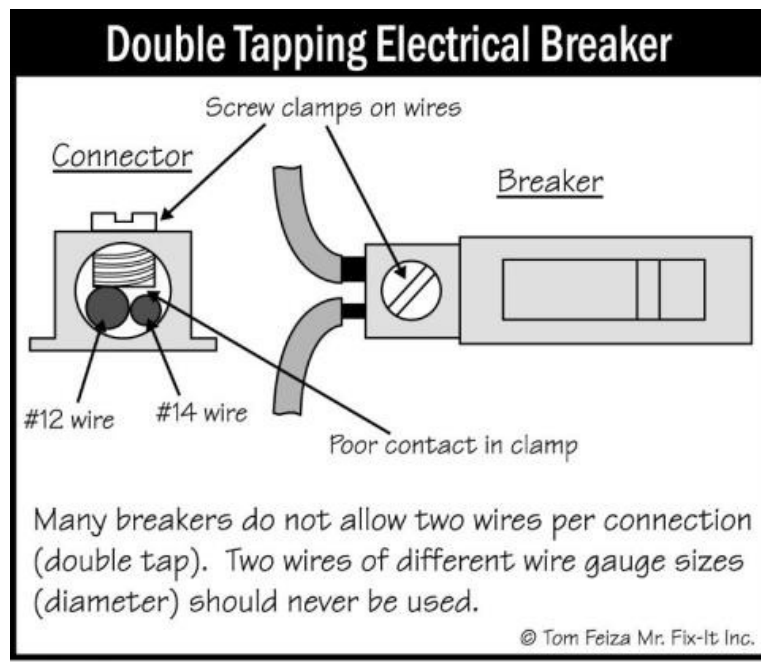
Location:

Basement.



Condition:

Appears functional, There appears to be more than one wire per breaker/fuse. Consult a licensed electrician for recommendations. Main panel is crowded. There is little to no room for additional circuits. Labeling not complete, Duplex breakers are installed in a slot/panel that appears as not rated for duplex breakers.



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## Branch Circuits

Finishes restrict inspection of branch circuits. Inspection is limited to a representative number of outlets, switches, and lights per state standards.

## Recommendations

Have a licensed electrician evaluate electrical system for good function and safety. Correct as needed. Suggest a complete check of system by a licensed electrician.

All electrical concerns of any type are potential safety hazards and should be evaluated/repaired immediately by a licensed electrician.

## Structure

### Limitations

Limitations to this inspection such as storage, paint, and finishes are listed in the "Inspection Limitations" portion of the Basement/Foundation portion of this inspection report.

### Foundation Configuration

Basement: 90% to 100%.

### Building Structure

Exterior Walls:

Finishes restrict inspection.

Posts/Columns:

No/restricted access, Steel, Appears functional, Appear typical for age.

Overhead Beams:

No/restricted access, Steel, Appears intact, Appears functional, Appear typical for age.

Overhead Joists:

No/restricted access, Wood "I" joists, Appears functional, Appear typical for age.

Subfloor:

No/restricted access, OSB, Appears functional, Appears typical for age, Water stains tested dry with moisture meter. *Suggest asking owner for history of staining.*

## *Basement/Foundation*

**Inspection is limited to visible areas only.**

### Inspection Limitations

Floor:

Floor not visible due to finishes: 60% to 70%. Floor not visible due to storage/equipment: 40% to 50%.

Walls:



Storage/shelving/equipment/appliances limited inspection: 30% to 40%. Finished foundation walls: 60% to 70%. Painted foundation walls (modern): 80% to 90%.

Ceiling:

Inspection of subfloor, plumbing, and electrical branch circuits is restricted due to a dropped/acoustical suspended ceiling. Dropped ceiling tiles are not removed due to risk of damage. Finished ceiling: 70% to 80%.

### Basement Stairs

Appears intact, Appears functional.

### Insulation and Ventilation



Insulation/Vapor Barrier:

Box sill insulation missing/damaged in some areas. Consider adding/replacing as necessary for future energy savings.

Basement Ventilation/Windows:

Appears intact, Glass block.

## Foundation Structure

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Limitations:

Not visible, Very limited access to inspect the foundation walls due to finishes and/or storage.

Type:

Concrete block.

Condition:

Typical for age.

Cracks/Fractures:

Common fractures. Some foundation fracturing is typical of expected/seasonally related settlement/shrinkage and does not indicate a structural deficiency. No structurally significant cracking evident, See note 133 in Reference Addendum.

## Foundation Wall Movement

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Movement:

Walls are fully finished/covered and not measured or inspected. Walls are partially finished/covered. Finished/covered areas are not measured or inspected. No significant inward bowing or tipping evident where foundation is exposed.

South Wall:

Up to 3/8 inch net inward movement (bending/bowing/tipping) measured at the time of inspection.

## Foundation Moisture or Dampness

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Degree:

No evidence of seepage observed at the time of inspection. Recent painting of foundation walls can mask evidence of previous staining. No active leaks observed at the time of inspection.

Water Stains:

None apparent at the time of inspection. Recent paint where masonry is exposed.

Other Signs of Moisture:

Caulk/mastic/putty noted. This indicates a possible history of managing seepage/moisture. Ask seller for history. If seepage is a concern, consider having the need for a drain tile test evaluated by a foundation specialist or Professional Engineer. Efflorescence/mineral deposits.

<b>IT IS IMPOSSIBLE TO PREDICT THE SEVERITY OR FREQUENCY OF BASEMENT SEEPAGE ON ONE VISIT.</b> See note 135 in Reference Addendum.
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## Basement Floor

Concrete: Appears intact. Minor concrete fracturing is typical and not indicative of a problem. Water stains at floor fractures. Possible asbestos floor tile. *Determining the presence or absence of asbestos is outside the scope of this inspection. Consult an asbestos abatement specialist for testing and recommendations as needed before disturbing or if damaged.*



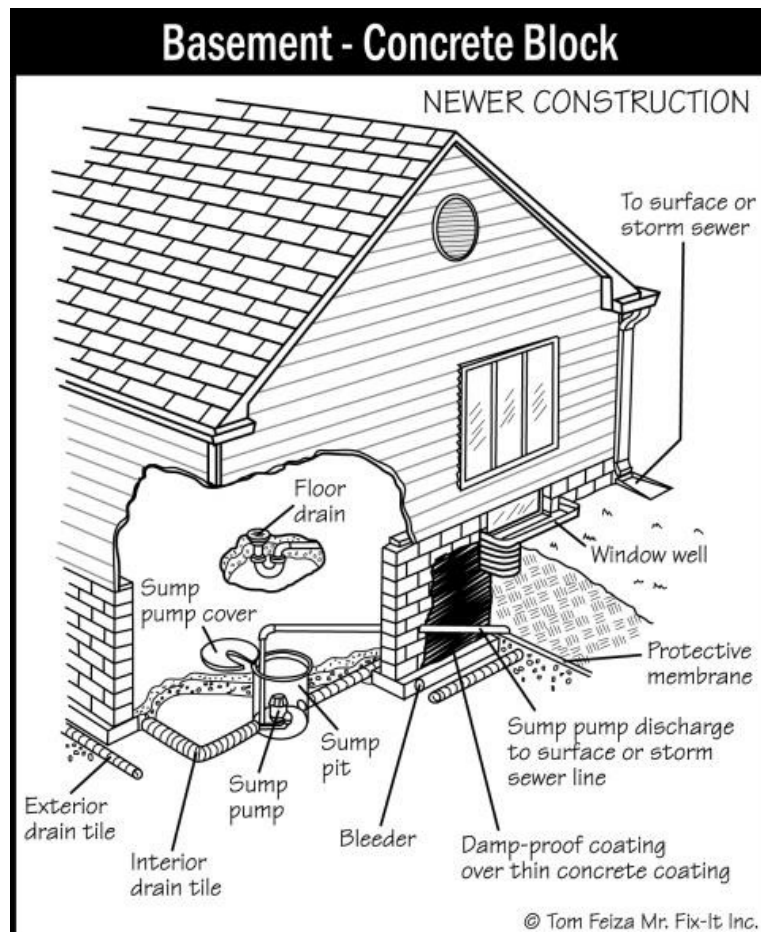
## Foundation Drainage

### Drain Tiles:

Appears to have drain tile added/repaired, Partial northern and Western wall areas.

### Sump Pump:

See note 138 in Reference Addendum. Radon system present. Radon systems are beyond the scope of a Home Inspection. EPA guidelines require testing for accurate function every two years. Ask seller for history. Consult [lowradon.org](http://lowradon.org) for more information. Battery back up not tested. See manufacturer's instructions for how to verify good function and perform regular maintenance. Batteries generally last two years.



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Footings and drain tiles are not visible for inspection. See note 136 in Reference Addendum.

## Recommendations

**Efforts should be made to maintain and correct all sources of exterior water/soil pressure with proper grading (slope of the ground), gutters, and downspouts. Have the need for a drain tile test evaluated by an independent Professional Engineer or foundation specialist. Obtain information from seller concerning past history of seepage, leaks, damage, and/or repair documentation/warranty information. People who live in a house for a long period of time are in the best position to provide information about the basement. They have seen the basement under various circumstances over a length of time.**

## Plumbing

### Water Main

#### Limitations:

Restricted/no access, *Water treatment device/devices not inspected.* Main shut off not tested.

#### Source:

Municipal.

#### Location:

The main water shut off is located on the South basement wall. The water shut off is located in a closet.

#### Material:



Copper.



Condition:

Appears intact, Older/worn valves, Monitor for leaks and good function.

## Functional Water Flow

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General Areas

Appears adequate.

## Water Supply Pipes

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Limitations:

Shut off valves not tested.

Material:

Copper, PEX, White PEX present. Monitor fittings/connections.

Condition:

Appears functional, Some newer piping and some older piping. Monitor for leakage and common maintenance needs. Typical corrosion.

Valves not operated.

## Drain/Vent Pipes

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Limitations:

Supply, drainage, and vent pipes/valves (such as studor valves) that are behind finishes are not inspected.

Type of System:

Municipal sewer.

Material:

Copper, Cast iron, PVC.

Condition:

Appears functional, Some newer piping and some older piping. Monitor for leakage and common maintenance needs. Previous repairs.

## Gas Piping

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Material:

Iron, **Flexible vinyl covered stainless steel (CSST). No bonding. This is a potential hazard. Suggest further evaluation by a licensed electrician.**



### Condition:

Appears functional.

### Location of Gas Shut Off:

The main gas shut off is located outside on the South side of the building.

## Recommendations

Monitor for common maintenance needs. This is not a permit inspection.

## Utility Sink

### Location:

Basement.

### Sink:

Sink, faucet, and piping appear intact, Plastic sink/tub.

## Wet Bar

### Location:

First floor.

### Limitations:

Restricted view below sink.

### Sink:

Sink, faucet, and piping appear intact, Sink, faucet, and piping appear functional.

### Cabinets/Countertops:

Appears intact, Appears functional.

### Electrical:

Appears functional.

An important part of home ownership is monitoring piping and fixtures for leakage so that you can promptly repair any issues as they arise.

## *Laundry*

## Laundry

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### Location:

Laundry room, First floor.



### Washing Machine Drains To:

Washing machine discharges into a drain in the wall. Not tested. Inspection is limited to visible areas only.

### Dryer Utility:

Gas.

### Dryer Venting:

Suggest replacing foil dryer vent tubing with a metal dryer vent for improved efficiency.  
Vents to outside wall/window.

### 120 V Electrical:

No access to test outlet by sink/tub.

## Water Heater

### Water Heater(s)

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**Location:** Basement, Utility room.

**Type:** Type: Gas, Direct vent fan induced exhaust system.

**Age:** Manufactured approximately 7 years ago.

### Size:

50 gallons.

### Condition:

Appears intact, Appears functional.

### Gas Piping/Valves:

Appears intact.

### Water Piping/Valves:

Appears functional, Typical corrosion.

### Exhaust Vent:

PVC, Appears intact.

### Recommendations:

Monitor for leakage.

Testing of safety devices is beyond the scope of this inspection.

## *Furnace*

Testing of safety devices is beyond the scope of this inspection.

### Forced Air Furnace(s)

**Location:** Basement, Utility room.

**Brand:** Carrier.

**Age:** Manufactured approximately 8 years ago.

**Services:** All living areas.

**Type:** High efficiency.

**Fuel:** Natural gas.

Inspection Limitations:

No access into duct above unit. Poor/no access to heating plant, Piping/ducting obscured from view due to finishes, Testing of zone dampers is beyond the scope of this inspection.

Heating Capacity:

90,000 BTU/hr input.

Gas Piping/Valves:

Appears intact.

Burners And Flame Observations:

Sealed/limited access to burners, Appears functional.

Heat Exchanger(s):

Sealed/no access.

Exhaust Vent:

PVC, Appears intact, Appears functional.

Cabinet:

Appears intact, Appears functional.

Humidifier:

Please note that humidifiers require annual maintenance. Consider further evaluation for maintenance needs and functionality.

Distribution:

Metal ducts. Appear intact where visible. Distribution method: Ductwork, Under floor and/or wall ducts observed, Forced air fan at heat exchanger. Appears functional.

Filter:

Filter rack is located inside the return air duct at/near the unit.

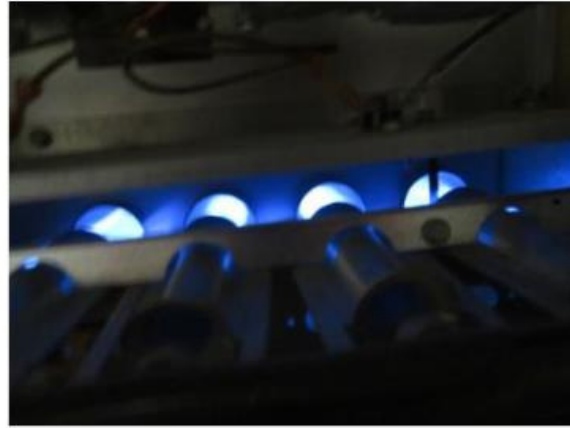
Thermostat:

Appears functional.

System Condition:

Operated when tested, No recent maintenance record found. This suggests that the furnace may be due for a seasonal tune and clean. Suggest asking seller for any service records not posted at the unit. Well maintained, Poorly maintained.

Recommendations:



Recommend seasonal tune up and safety equipment check of all HVAC equipment by a qualified specialist.

Recommend professional service annually as regular tune ups help to prolong the unit's life expectancy and support safe and reliable function.

## *Air Conditioning*

### Air Conditioner

**Location:** Exterior.

**Brand:** Carrier.

**Age:** Manufactured approximately 8 years ago.

**Services:** All living areas.

**Type:** Split system, Central (ducted) system.

**Fuel:** Electric.

Outside Condensing Unit:

Appears functional, Operating properly.

Indoor Cooling Unit:

Located in duct above forced air furnace.

Temperature Drop:

Temperature drop: approximately 15° F, adequate performance. *Normal range is 14-22°F; ideal 20°F. Temperature is measured in air flow at the air intake and exhaust vents.*

Recommendations:

Recommend seasonal tune up and safety equipment check of all HVAC equipment by a qualified specialist.

Recommend professional service annually as regular tune ups help to prolong the unit's life expectancy and support safe and reliable function.

# *Informational and Educational Comments*

## Notes to Be Aware Of

Informational notes including some of the building's routine care/typical upkeep needs. Consider further evaluation as desired/needed by a qualified professional:

### **Exterior**

#### Walks/Patio

##### *Brick/Pavers/Stone:*

Stone walk/patio needs repair or replacement. Suggest further evaluation by a hardscapes contractor/landscaper for maintenance/repair/water deflection issues.

#### Concrete Porch/Stoop

##### *Condition:*

High step up where walk has settled. Uneven rise/run at steps.

### **Chimneys**

#### Chimney

##### *Chimney Cap:*

Corrosion/ rust evident- clean and examine fireplace systems suggested.

##### *Chimney Structure:*

Same materials and similar condition to house siding and trim. Wood siding needs maintenance, nails pulling / wood cupping.

### **Kitchen**

#### Kitchen

##### *Sink:*

Gurgling sound at drain indicates possible venting problem, No air gap device for dishwasher drain line. This can cause dirty water to flow back into the dishwasher.

### **Interior**

#### General Areas

##### *Smoke and Carbon Monoxide Detectors:*

Unable to determine which units are smoke detectors and which are carbon monoxide detector detectors. Verify which units are smoke vs. carbon monoxide detectors and ensure an adequate number on each floor and their operation.

## Upcoming Replacement Items

*Items that appeared functional/undamaged at the time of inspection but are near/beyond the end of their life expectancy or otherwise showing signs that they may need replacement at any point due to age/wear:*

